

**TREE PRESERVATION CERTIFICATE
NATURAL RESOURCES MANAGEMENT ORDINANCE REQUIREMENTS**

I, _____ (owner, agent), certify that I am aware of the requirements of Natural Resources Management Ordinance No. 1220 regarding tree preservation. This affidavit verifies that to the best of my knowledge the said property at (addresses) _____ (attach sheet if necessary)

- 1. has no protected trees as defined in Section A of the Natural Resources Management Ordinance;
- 2. has protected trees, but this work will in no way cause damage to or destroy the said trees; I understand such is a direct violation of the provisions of the aforementioned ordinance. (Requires site plan and tree inventory with Building Permit submittal);

OR

- 3. has protected trees that will be removed. (Requires site plan and tree inventory with Building Permit submittal.)

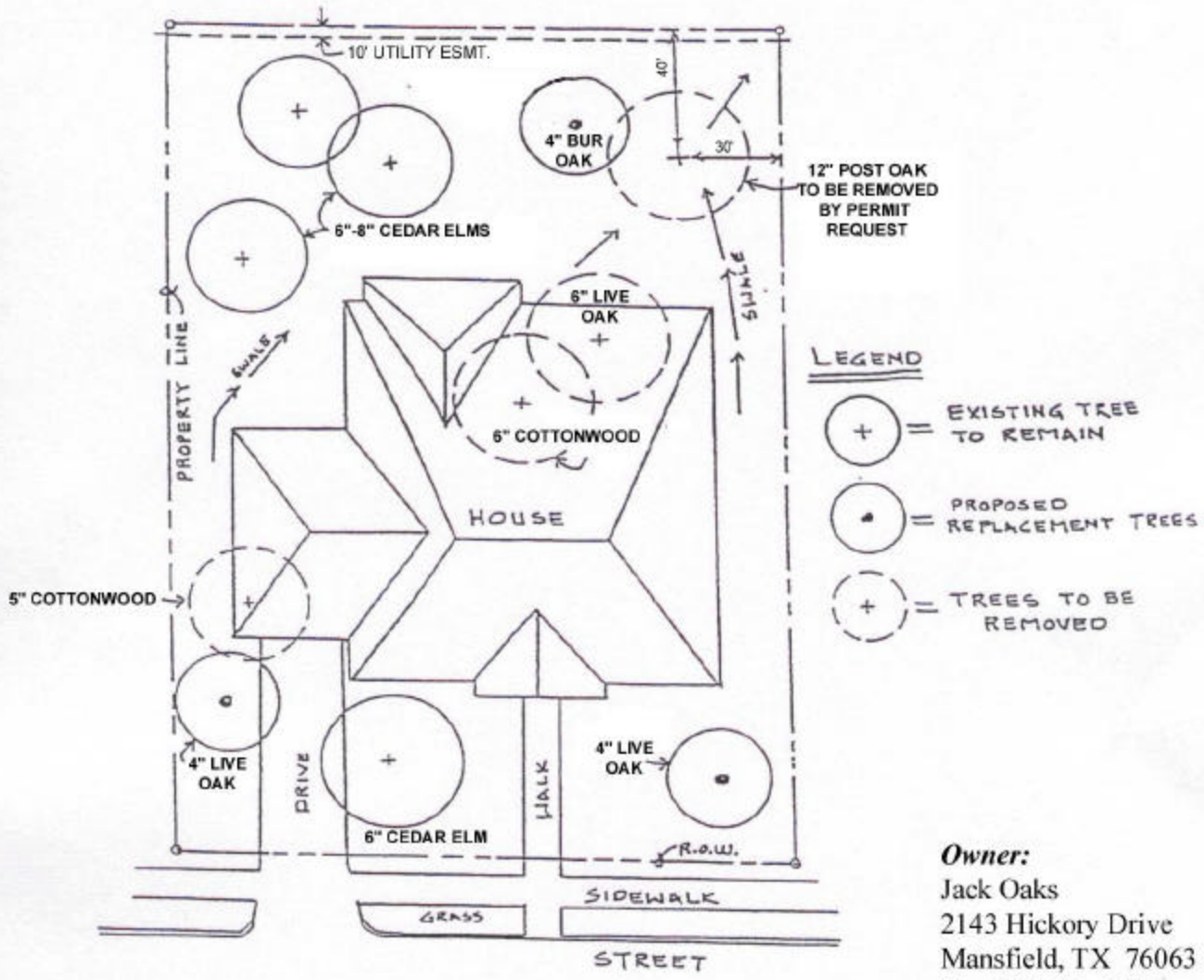
Signature

Date

IF YOU CHECKED 2 OR 3 ABOVE, A SITE PLAN WITH A TREE INVENTORY IS REQUIRED WITH THE BUILDING PERMIT APPLICATION. THE SITE PLAN SHOULD INCLUDE THE INFORMATION ON THE CHECKLIST BELOW. A SAMPLE SITE PLAN IS ON THE REVERSE SIDE OF THIS SHEET.

Shown on Plan	INFORMATION REQUIRED ON SITE PLAN/TREE INVENTORY
	1. Appropriate Title (i.e. Tree Removal Exhibit, or Tree Site Plan)
	2. Title block which includes street address, lot and block, subdivision name, city and date of preparation.
	3. North arrow and written scale in close proximity. The scale should be at a size of 1" = 20'.
	4. Name, address, phone number and fax number of the owner and the person preparing the document
	5. Location of all right-of-way lines and public easements
	6. Location of all buildings, structures, pools, parking, driveways and other improvements which are existing or intended on the lot
	7. For non-residential developments, a grading plan showing areas of cut/fill with amount of each shown and flow lines shown, along with existing and proposed spot elevations, grades and major contours, along with existing landscaping, streams, ponds and major natural features.
	8. All protected trees shown individually on the plan with the common name and diameter (measured 4.5' from the ground). Trees to be shown include quality and marginal trees 6" or greater in size and understory trees 2" or greater in size. Trees in close proximity that all have a diameter of less than four inches (4") may be designated as a group of trees with the number of quality, marginal and understory trees shown.
	9. The location of protected trees must be tied by horizontal control (i.e. dimensions from lot lines, or placed through coordinates determined via survey.)
	10. Any proposed replacement trees shown with caliper size and common name of tree.
	11. Graphic representations distinguishing protected trees that will be saved versus those that will be removed.
	12. Areas of no disturbance labeled as "No Disturbance Area". Trees within such areas are not required to be individually identified. This area must be clearly marked on the plan and surrounded with protective fencing on the ground.
	13. Phasing of tree survey along with phasing of the development is permitted.

EXAMPLE BUILDER SITE PLAN



LEGEND

- = EXISTING TREE TO REMAIN
- = PROPOSED REPLACEMENT TREES
- = TREES TO BE REMOVED



SITE PLAN WITH TREE INVENTORY
 2143 Oak Street
 Lot 14, Block 8, Pecan Estates
 An addition to the City of Mansfield, Texas
 June 15, 2001

Owner:
 Jack Oaks
 2143 Hickory Drive
 Mansfield, TX 76063
 Ph: 817-475-0001

Plan Prepared By:
 Mr. Tree Saver
 1913 Spruce Street
 Dallas, TX 70418
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