

RESIDENTIAL ATTACHED PATIO COVER/CARPORT

A building permit is required for the construction or repair of a patio cover/carport. You are required to submit, for review, information to enable staff to evaluate proposed work for compliance with the 2006 International Residential Code for building material and construction methods and the local Zoning Ordinances for setbacks, material and height requirements. After the permit application is approved and permit issued the Development Services Department will perform various inspections as applicable to include foundation/footing, framing, electrical, and final inspections. All electrical work must be performed by a state licensed electrician registered with the City of Mansfield.

SUBMITTAL REQUIREMENTS:

1. **BUILDING PERMIT APPLICATION**^a: All projects must have a permit application and a fee will be due upon approval of permit application. The owner, contractor, or authorized agent can complete the application. The following information must be provided on application:
 - a. The address and legal description of the property,
 - b. The name, address and phone number of the property owner,
 - c. The name, address and phone number of the person doing the work, if other than homeowner,
 - d. Square footage of the patio cover/ carport,
 - e. Valuation or construction cost, and
 - f. Brief description of work.
2. **PREPARE PLANS**: The following information and plans must be included with the permit application:
 - a. Plot plan (also called plat survey or site plan) include:
 - i. Size of the patio cover/carport (width and length),
 - ii. Location of the patio cover/carport (distance from the property lines), and
 - iii. Height
 - b. Type of building material to be used on^b:
 - i. **Walls or Columns**. Example: wood, metal, masonry, or other, and
 - ii. **Roof**. Example: composition, wood, metal, or other.
 - c. Type of existing foundation (house). Example: post tension, rebar, or other.

Note: Post Tension is an engineered foundation. To insure that the integrity of the house foundation is not compromised you will be required to hire an engineer to design the proposed foundation or footing.
 - d. Type of proposed foundation or footing^c. Example: rebar, post tension or other.
 - e. Details include^c:
 - i. Method of attaching proposed foundation to existing foundation,
 - ii. Method of attaching proposed roof to existing house,
 - iii. Supporting posts size, material and spacing,
 - iv. Joist size, material, and spacing,
 - v. Rafter size, material and spacing, and
 - vi. Beam size, material and spacing.
 - f. Note on plans if any electrical or plumbing will be installed; example: ceiling fans, switches, outlets, sinks, gas appliances, etc.

Footnotes:

- a. The Building Permit Application is available on our web site www.mansfield-tx.gov/ or at Development Services permit counter.
- b. In an effort to simplify the process we have attached a questionnaire on page two of this handout that you may complete.
- c. To assist you we have provided standard details for informational purposes only, with this handout. Utilize, modify and complete as applicable for your project.

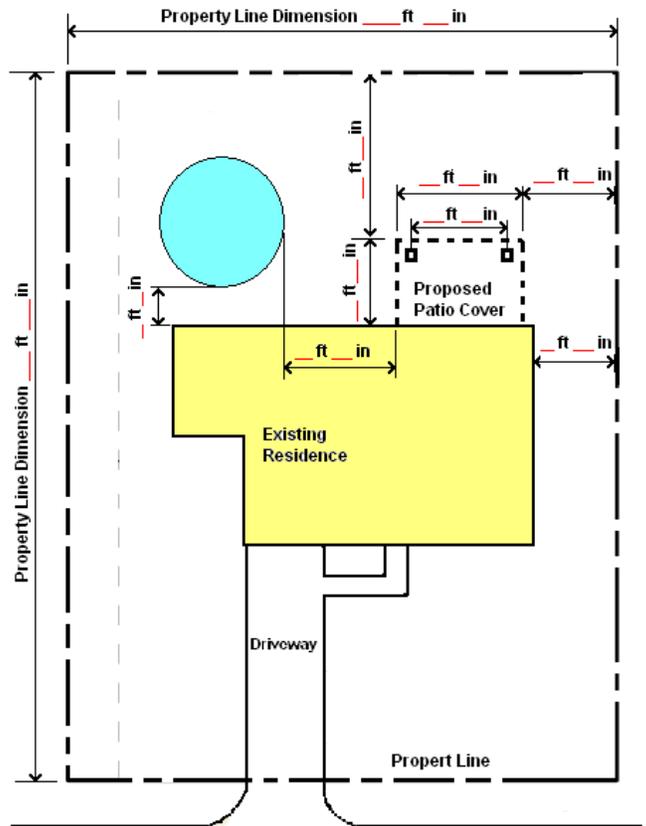
QUESTIONNAIRE:

1. **What is the size of the patio cover/carport**
 Width _____ Length _____ Height _____
2. **Type of building material to be used on walls or columns**
 Wood Metal Masonry Other _____
3. **Type of building material to be used on roof**
 Composition Wood Metal Other _____
4. **Type of existing foundation (house)**
 Post Tension Rebar Other _____
5. **Type of proposed foundation/footing.**
 Post Tension Rebar Other _____
6. **Supporting posts: (Wood minimum 4"x 4" - Metal 3")**
 size _____ material _____ spacing _____
7. **Joist/ Rafter:**
 size _____ material _____ spacing _____
8. **Beam:**
 size _____ material _____ spacing _____

INFORMATION:

- Available at <http://www.awc.org/> you can find a span calculator for wood joists & rafters that may be a helpful guide. If used please print and submit with application.
- Patio cover cannot be located in the Building/Zoning setback(s).
- Minimum depth of footing(s) is 12"; area frost line is 6".
- Posts must be attached with suitable anchors and brackets.
- The City does not enforce deed restrictions and covenants if in doubt contact your Homeowner's Association.

TYPICAL SITE PLAN



Street Name: _____
 Address: _____

