



## New Residential Parking Regulations for Mansfield

On November 23, 2015, the City Council adopted Ordinance No. 1978-15 establishing new parking regulations for residential properties. **The new regulations take effect on February 22, 2016.** This summary provides general guidelines to help you understand the parking regulations for residential properties:

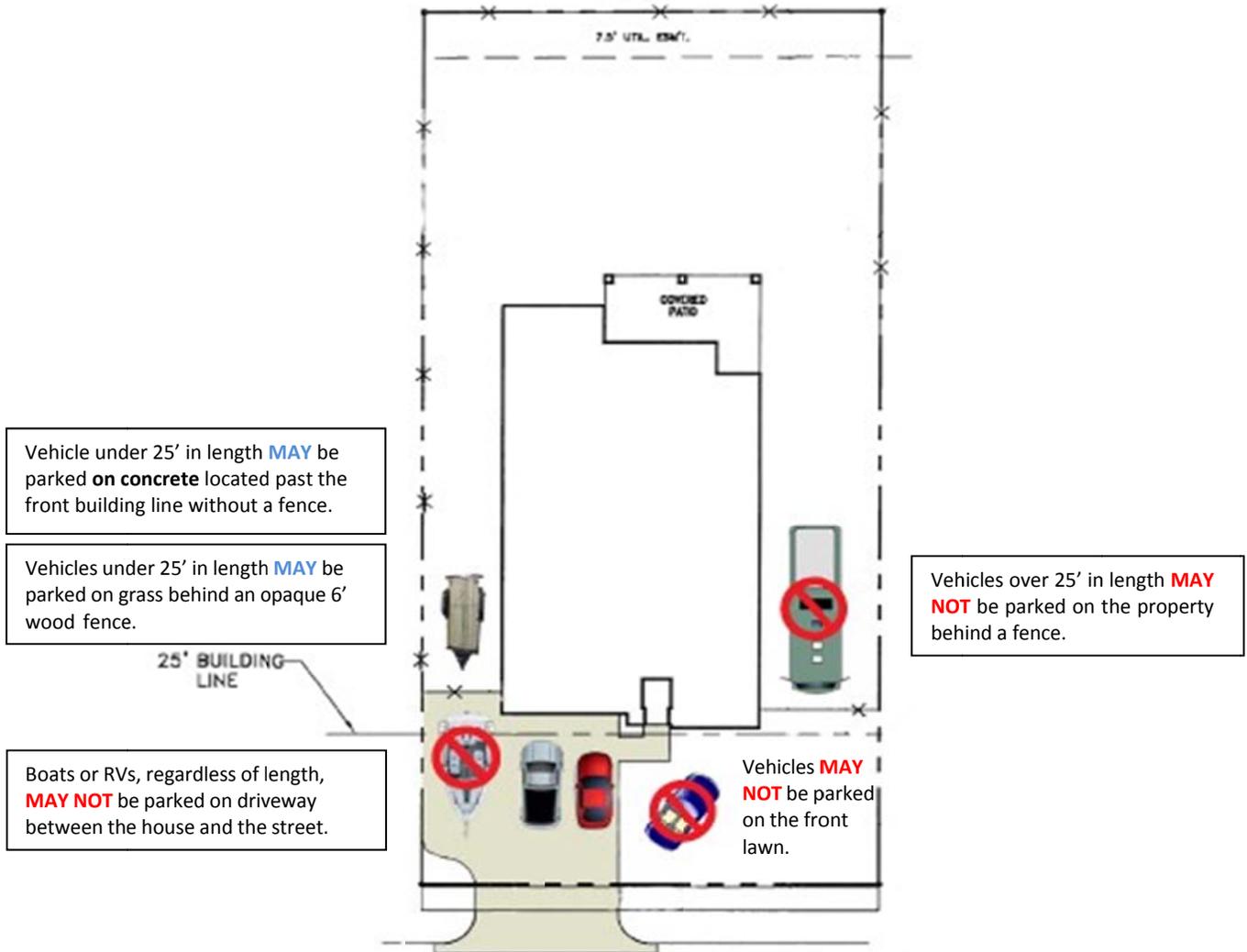
1. Only passenger vehicles such as cars, pickup trucks and vans may be parked on a driveway between the house and the street. Non-passenger vehicles such as boats, campers, trailers or RVs cannot be parked between the front of the house and the street. On corner lots, non-passenger vehicles cannot be parked on the driveway between the side of the house and the street.
2. Vehicles less than 25' in length may be parked on concrete pavement in a side or rear yard behind the front building line. Vehicles are not required to be parked on a paved surface in a side or rear yard that is enclosed by an opaque screening fence at least 6' high.
3. No vehicle greater than 25' in length may be parked on a residential lot unless it is enclosed in a three-sided building with an opaque gate, or parked behind the house at least 50' from any property line.
4. A camper, motor home or RV may be parked on a residential lot for no more than 72 hours at any one time to accommodate an out-of-town visitor or for the purpose of loading, unloading, cleaning, preparing for a trip, winterizing or preparing the vehicle for off-premise storage. Parking under this regulation is only permitted 4 times in a calendar year.

If you have vehicles parked on your property that do not meet the requirements above, you will need to take steps to bring your property into compliance before **February 22, 2016**. Code Enforcement activities will begin after that date. Non-passenger vehicles parked between the house and the street prior to the adoption of Ordinance No. 1978-15 are not exempt from these regulations.

For more information, contact the Planning Department or visit the City's website at: <https://www.mansfieldtexas.gov/development-guidelines>.

## RESIDENTIAL PARKING GUIDELINES

This summary provides general guidelines to help you understand the parking regulations for residential properties. We encourage you to check with the Planning Department or go to the city's website at [www.mansfieldtexas.gov](http://www.mansfieldtexas.gov) for more details.



1. Only passenger vehicles such as cars, pickup trucks and vans may be parked on a driveway between the house and the street. Non-passenger vehicles such as boats, campers, trailers or RVs may not be parked between the front of the house and the street. On corner lots, non-passenger vehicles cannot be parked on the driveway between the side of the house and the street.
2. Vehicles less than 25' in length may be parked on concrete pavement in a side or rear yard behind the front building line. Vehicles are not required to be parked on a paved surface in a side or rear yard that is enclosed by an opaque screening fence at least 6' high.
3. No vehicle greater than 25' in length may be parked on a residential lot unless it is enclosed in a three-sided building with an opaque gate, or parked behind the house at least 50' from any property line.
4. Non-passenger vehicles (such as campers, boats, trailers, and motor homes) that are greater than 25' in length AND were parked on a lot prior to Nov. 10, 1997 are exempt from the current regulations.
5. A camper, motor home or RV may be parked on a residential lot for no more than 72 hours at any one time to accommodate an out-of-town visitor or for the purpose of loading, unloading, cleaning, preparing for a trip, winterizing or preparing the vehicle for off-premise storage. This is only permitted 4 times in a calendar year.